

POPPLETON HISTORIC STUDY

B-2621

MAG#0426215711

<u>Block</u>	<u>Lot</u>	<u>Address</u>
217	33-41	1140-1122 Hollins Street

Approximate age

<u>1800-1845</u>	<u>1845-1860</u>	<u>1865-1880</u>	<u>1880-1896</u>	<u>1896-on</u>
			1136	1138/1140

<u>Rating</u>	<u>Architectural</u>	<u>Condition</u>
A	Significant-save	good fair poor bad
B	Quality-Indiv./groups-save	good fair poor bad
<u>C</u>	Important to street/groups	good <u>fair</u> poor bad
D	Insignificant/detrimental	good fair poor <u>bad</u> 1136

Notable features:

The destruction of these buildings 1122-1134 did more harm than good. The gap they left is unsightly. The record seems to indicate that some old houses were among the losses. Number 1138/1140 is quite a nice early 20th century building; it should stay. Note the swag motif of the architrave. It is also important store in this area. Number 1136 has been badly burned but if it can be saved it should remain.

Environmental context:

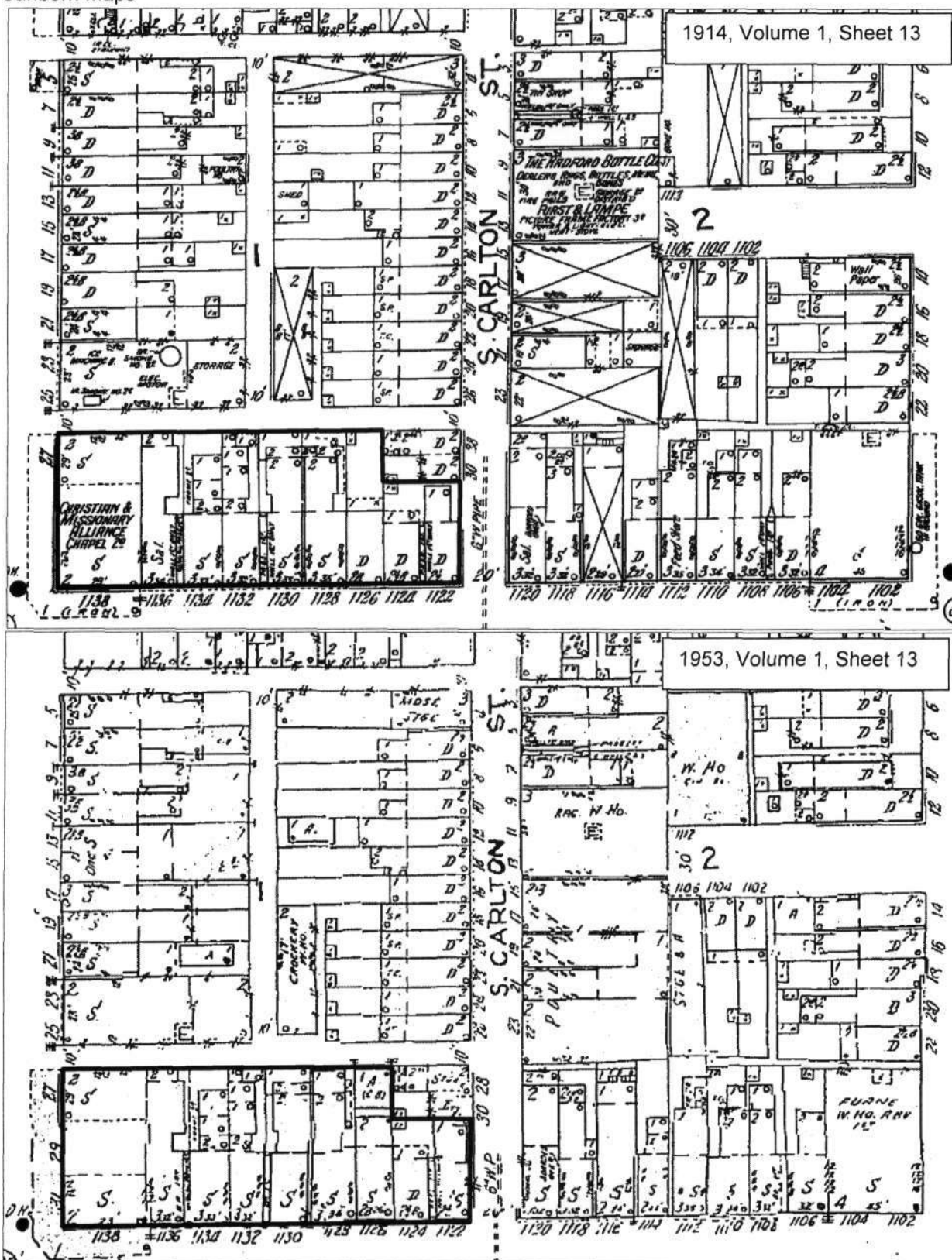
Lots (41-35 and 82-83) at 1122-1134 (and 28-30 S. Carlton) have been cleared and 1136 is vacant. Proposed parking lot will not give definition and edge to the Market that the houses did. Market is across-street and plan for Market must strongly influence the use of these lots. The least that should be allowed if for parking is an enclosing wall and heavy planting of trees and shrubs at front (Hollins) and rear (alley side).



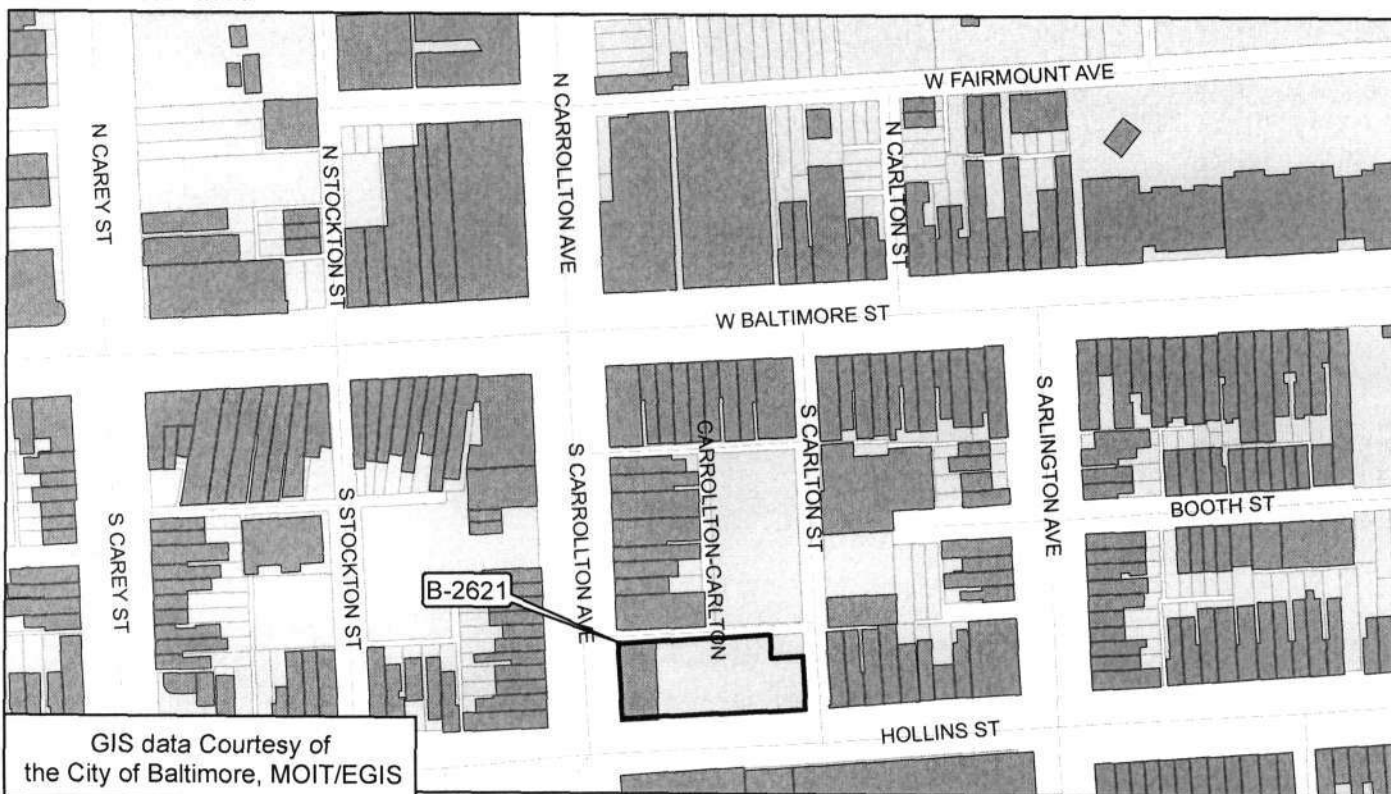
B-2621

1122-1140 Hollins Street (1122-1136 demolished)

Sanborn Maps



B-2621
1122-1140 Hollins Street (1122-1136 demolished)
Block 0217, Lots 033-041
Baltimore City
Baltimore West Quad





HISTORIC PRESERVATION CERTIFICATION

APPLICATION — PART 1

(Pursuant to the Tax Reform Act of 1976)

Instructions: Applicant should read the instructions carefully before completing application. No Certification may be made unless a completed application form has been received (P.L. 94-455). Use typewriter or print clearly in dark ink to complete the application form. If additional space is needed to complete Part 1, use the reverse side or a separate plain sheet of paper clearly indicating the owner's name and mailing address. Part 1 of this application may be completed and sent to the appropriate State Historic Preservation Officer at any time during the year, and may be sent separately or with Part 2.

PART 1 EVALUATION OF SIGNIFICANCE

1. NAME OF PROPERTY: 1138-40 Hollins Street
Address of property, Street Hollins Street
City Baltimore County _____ State Maryland Zip Code 21223
Name of historic district in which property is located Union Square

2. DESCRIPTION OF PHYSICAL APPEARANCE:

(see instructions for map and photograph requirements—use reverse side if necessary)

Please see attached description, along with photographs and plans which are enclosed.

3. STATEMENT OF SIGNIFICANCE:

(use reverse side if necessary)

Please see attached statement.

Date of construction (if known) Circa 1900 ☒ Original site ☐ Moved Date of alterations (if known) _____

4. NAME AND MAILING ADDRESS OF OWNER:

Name Jerome Lampracht
Street 16 West 25th Street
City Baltimore State Maryland Zip Code 21218
Telephone Number (during day) Area Code 301-366-7800

I hereby attest that the information I have provided is to the best of my knowledge correct, and that I am owner of the property described above

Signature [Signature] Date 2-13-80

For office use only

The structure described above is included within the boundaries of the National Register historic district and ☒ contributes ☐ does not contribute to the character of the district

The structure ☐ appears ☒ does not appear to meet National Register Criteria for Evaluation (36 CFR 60.6) and ☐ will likely ☐ will not be nominated to the National Register in accord with the Department of the Interior procedures (36 CFR 60).

The structure is located in a district which ☒ appears ☐ does not appear to meet National Register Criteria for Evaluation (36 CFR 60.6), and ☒ will likely ☐ will not be nominated to the National Register in accord with Department of the Interior procedures (36 CFR 60), and ☒ appears ☐ does not appear to contribute to the character of the district

Signature [Signature] Date 2-6-80
State Historic Preservation Officer

This property has been evaluated according to the criteria and procedures set forth by the Department of the Interior (36 CFR 67) and if subject to depreciation in section 167 of the Internal Revenue Code of 1954,

☐ is hereby certified a historic structure
☐ does not contribute to the character of the historic district and does not merit certification as a historic structure. Reasons given on the attached sheet.

Signature _____ Date _____
Keeper of the National Register

2. DESCRIPTION OF PHYSICAL APPEARANCE

The building is a freestanding, rectangular shape, 67' long by 31' wide, with a ground floor below grade, first and second story a height of approximately 24'. The building is wood frame with exterior brick bearing walls. The brick is tan and hardbaked, with a smooth finish.

Two sides of the building have a parapet entablature with a metal architrave, and ornamental metal freize topped with a metal cornice, all of which are a soft grey color.

These two walls (one facing west, 67' in length, and the other facing south and 31' in width) have windows on the first and second stories. The first story of the west wall has a bank of 4 large storefront windows which are boarded over at present, but are to be restored with laminated glass to recreate their original appearance. The second story of the west wall has a bank of 10 large double hung windows, each window having a limestone lintel and sill. Above the first floor windows is a cornice which is architecturally compatible with that at the roof line. A streamer of lights above a large wooden sign, running the length of the wall was added to the wall relatively recently. The lights and sign will be removed in order to restore the building to its original appearance.

The south wall contains a similar configuration of windows, having a single large storefront window on the first story and 4 large double hung windows on the second story.

The intersection of these two walls contains a recessed entrance with a triangular concrete entry slab. A slight regrading of the sidewalk around this slab will allow for access for the handicapped with no basic change in the exterior appearance of the building. There are two additional entrances along these walls, one an entry to the second story located at the southeast corner of the second wall, and an entrance to the first story area at the northwest corner of the first wall.

The north and east walls of the building are blank, having at one time been attached to adjacent structures. They are both finished with a smooth, sand colored stucco.

3. STATEMENT OF SIGNIFICANCE

This building is located in the Union Square Historical District, just east of Union Square itself and across the street from the Hollins Street Market, which is currently being revitalized by the City of Baltimore. (Please see photographs enclosed.)

As the residential construction grew around Union Square during the 1840's and 1850's, a commercial district began to develop along Baltimore Street, which was the main thoroughfare west from the City, and extending down Carrollton Avenue along Hollins and Lombard Streets. This area formed the center of the retail district, with the Hollins Street Market as the focal point.

Around the turn of the century the commercial district underwent a "renaissance", a period of rapid growth due to population increases which served the manufacturing centers south of the area. It is believed that the structure at 1138-40 Hollins Street was built at this time.

Since the building was originally constructed for commercial use, it will be possible to renovate the interior to provide for office space and at the same time restore the exterior to reflect its original character, with a minimum of alteration inside, and only cosmetic repair to the exterior.

The architecture of the building is compatible with that of the market and together they create a focal point, illustrating the style and function of what has been the retail market district of this community for the past 150 years.

We feel that the restoration of 1138-40 Hollins Street will make this building a key-stone in the private revitalization of this community.



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